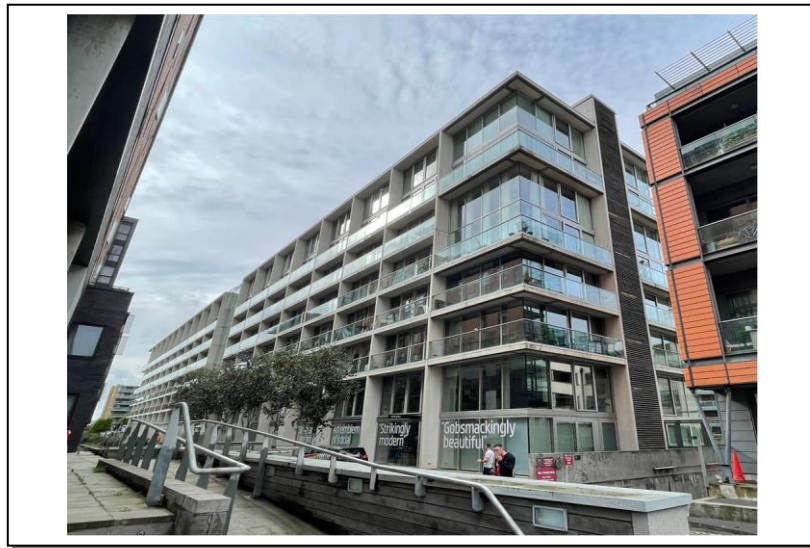




STRUCTURAL BUILDING CONDITION ASSESSMENT

FOR

**TIMBER WHARF
32 WORSLEY STREET
MANCHESTER
M15 4NZ**



CARRIED OUT & PREPARED FOR

**TIMBER WHARF MANAGEMENT LIMITED
C/O REALTY PROPERTY MANAGEMENT LIMITED
DISCOVERY HOUSE
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This document must only be treated as a draft unless it has been signed by the Originator and approved by the Managing Director or an Associate.

Date: 08/03/2024	Originator:		
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08/03/2024	Approver:		
		Ben Stewart MRICS BSc (Hons)	Associate

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1. INSTRUCTIONS & GENERAL DESCRIPTION

- 1.1 Harris Associates have been instructed by Realty Property Management on behalf of the Client, Timber Wharf Management Ltd, to undertake a Structural Building Condition Assessment (SBCA) of Timber Wharf in line with the requirements of the Building Safety Act 2022. Our inspection and report relate only to the structural elements and fabric of the building.
- 1.2 The confirmation of instruction was received via email on the 12th September 2023.
- 1.3 On the 12th October 2023, the visual inspection and site surveys of the property were carried out by Harris Associates.
- 1.4 Within the context of the Building Safety Act 2022, building safety risk is defined as the spread of fire, or structural failure. The structural building condition assessment is a risk-based approach and considers the buildings structure and how it relates to its safety. This includes, but is not limited to, building condition, on-going structural safety, challenges to maintaining structural safety, structural monitoring systems and measures to monitor and mitigate where structural issues exist.
- 1.5 The weather during the inspection was cloudy with a temperature of 18 degrees.
- 1.6 The property's Use Class is C3 and the site survey comprised of the external building envelope and the internal Landlord/common areas. As part of the assessment, we have undertaken a desktop review of all available operations & maintenance manuals and as-built drawings which have been listed under section 4 of this report.
- 1.7 Timber Wharf is a mixed-use development located in Castlefield, in the City Centre of Manchester and constructed circa 2000. The property is nine-storeys, with commercial units on ground to first floor and residential apartments to eight upper floors. There is a 2-level car park at basement level and the property has paved external areas at the rear of the building.
- 1.8 The storey height is derived from the Approved Document B (fire safety) volume 1: Dwellings, 2019 edition incorporating 2020 and 2022 amendments. The top storey height is measured from the lowest ground point to the highest habitable finish floor level.

- 1.9 The property has a stay put evacuation policy. The property has two emergency staircases which lead to final exits on the ground floor at the front elevation.

2 SUMMARY OF STRUCTURE

- 2.1 The primary external wall components of the Timber Wharf building consist of solid pre-cast reinforced concrete panels. The composition of the external wall includes 175 mm solid pre-cast reinforced concrete panels with double-glazed, storey height double glazed units incorporating aluminium frames. Internal separating walls within apartments were believed to be constructed from lightweight stud or block partitioning, with ceilings and walls finished with plasterboard and paint finishes. The reinforced concrete panels are exposed throughout the building and are a feature of the property. In our opinion of reviewing the main structure of the building it has been designed adequately from a structural perspective. With the absence of signs of significant structural defects, it is our opinion that the building is in a fair structural condition.
- 2.2 The secondary structure comprises of a double-glazed, storey height double glazed units incorporating aluminium frames. All of which appeared in fair condition and free from cracks or shattered glazing units.
- 2.3 We are not aware of challenges to maintaining structural safety.
- 2.4 We are not aware of findings from previous structural surveys or inspections.
- 2.5 We are not aware of any details of monitoring systems that provide early warnings of structural issues.
- 2.6 We are not aware of any measures in place to monitor, manage and mitigate the situation where structural issues exist.

3. SUMMARY & PRINCIPAL FINDINGS

- 3.1 Our conclusion is that the property is in a fair and reasonable condition, commensurate of an in-use building constructed circa 2000. There is no evidence to suggest the property is structurally un-safe. The property is deemed structurally sound and low risk in terms of structural failure. We found no evidence of damage or movement to suggest foundation failure.
- 3.2 We set out below a list of the principal structural and building condition findings arising from our survey combined with the review of the building documentation provided:
- Foundations – We did not excavate any trial pits as part of our survey and we do not feel that any are required at this point in time. From our observations there does not appear to be any failings or issues with the foundations.
 - Floor slabs – We did not undertake any intrusive or opening up work as part of our survey and we do not feel that any are required at this point in time. From our observations there does not appear to be any failings of the floor slabs.
 - Columns & beams – We did not undertake any intrusive or opening up works, from visual observations only, we did not identify any failings of issues with the columns & beams.
 - External walls – We did not undertake any intrusive or opening up works, from visual observations only, we did not identify any failings or issues to the external walls.
 - Internal Walls – We did not undertake any intrusive or opening up works, from visual observations only, we did not identify any failings of issues to the internal walls.

4. EVIDENCE OF DOCUMENTS REVIEWED

4.1 As part of the SBCA, Harris Associates were provided with the following building documents which have been reviewed:

- External Facade Fire Spread Assessment, March 2020
- Fire Risk Assessment, Type 4, dated, May 2022
- Fire Door Inspection Report, February 2023
- FRAEW PAS 9980, dated December 2023

5. SCOPE, LIMITATIONS & METHODOLOGY

- 5.1 The scope of this report is limited to the known / accessible structure and any associated building attachments at Timber Wharf only and is in line with the Harris Associates methodology and reporting framework as set out within Harris Associates services proposal and instructing documentation.
- 5.2 In accordance with our Terms & Conditions of Business submitted with our fee proposal, our inspection and this report is based on our findings during a visual assessment of readily accessible and visible surfaces of the property. It is not so complete as that which may be obtained when the various parts of the building can be opened up for inspection. For avoidance of doubt, no intrusive opening-up has been carried out as part of this assessment, unless requested and agreed with the client.
- 5.3 This report does not, therefore, guarantee that works of opening up will not reveal defects or design faults with the building fabric, or structure.
- 5.4 Unless stated otherwise, the external building fabric and roofs were visually inspected from ground level with the aid of binoculars. The foundations were not exposed and were therefore not inspected.
- 5.5 The building engineering services were not tested or examined, nor were inspection chambers lifted to inspect the drains, their orientation or to report on any below-ground defects or building movement associated with defective drainage.
- 5.6 This report does not detail each and every defect noted during the survey but reports in general terms on the principal defects and issues relating to structure and building fabric, in the context of failure in a fire event.
- 5.7 We have included a selection of photographs taken during the survey to amplify this report at Appendix A.
- 5.8 We confirm that we will not be carrying out nor commissioning specialist inspections or tests on your behalf, of the services including drains, hot and cold water, heating, gas or electrical installations. If during our Survey, we see anything which leads us to believe there are any significant defects or risk in respect thereof, we will advise you accordingly



and make recommendations for the commissioning of an appropriate Specialist at additional cost.

- 5.9 We also confirm that we will not be carrying out or commissioning specialist inspections or tests on your behalf in order to ascertain whether or not high alumina cement, calcium chloride concrete additive, woodwool permanent formwork or any other deleterious materials, including asbestos in any form, have been used in the construction of the building. However, if during the Survey we see any elements which we consider could represent a risk in this respect, we will advise you accordingly and make further recommendations.
- 5.10 We will not be carrying out, nor commissioning specialist inspections or tests on your behalf, nor making any formal enquiries relating to chemical contamination or, indeed, any other form of contamination of the site or neighbouring land. Typically, a solicitor should be able to obtain information and advice on risks associated with the land and its previous uses, including any enquiries which are required.
- 5.11 We must advise you that we will be unable to inspect those parts of the structure which are covered, (including with fitted carpets), unexposed or inaccessible, (including flues, ducts and voids or similarly enclosed areas), the access to which necessitates the moving of heavy or fitted furniture, the use of specialist tools or which could cause damage to fixtures and finishes. We will therefore be unable to Report that any such parts of the property are free from defect. However, if we feel that our Survey has been excessively limited, and that there are areas which require clearing or opening up, or where there are areas to which we consider access should be provided with the aid of an extension ladder or aerial platform to enable the Survey to be adequately completed, we will advise you accordingly and make recommendations concerning the appropriate work that is required and the likely additional costs involved.
- 5.12 The survey will be limited to areas where access is available on the day of the survey. There may be areas of the property that we will be unable to gain access to. We will advise of those areas that we were able to survey and those that we were not. To those areas that we do not inspect we will therefore be unable to report that such areas are free from defect. If we consider that access to specific areas needs to be arranged, we will advise accordingly.
- 5.13 Our Survey Report will focus on the structural condition of the building in its current form but will also contain appropriate comments and advice concerning any obvious breaches



of Building Regulation or Planning Law, but overall, these areas and others, are normally dealt with by others.

- 5.14 The Report submitted will be for your use and while it may be shown to other professional advisers acting for you, the contents are not to be disclosed to, nor made use of by any third party without the express prior written consent of Harris Associates. Without such consent, Harris Associates can accept no responsibility to any third party. Such consent will, of course, not be unreasonably withheld.

- 5.15 No liability will be accepted for non-contractual advice provided. All such advice should be verified and checked by others with the proper level of expertise.

APPENDIX A – SELECTED PHOTOGRAPHS



1) Front elevation, Worsley Street



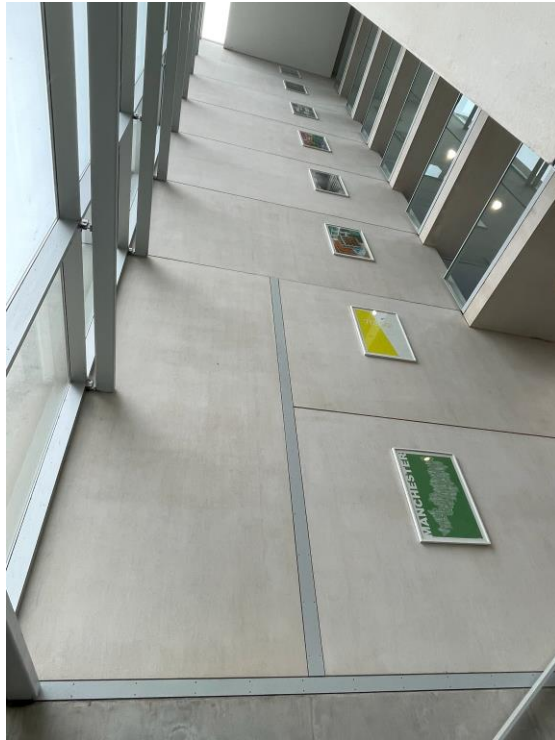
2) Front entrance



3) Rear elevation



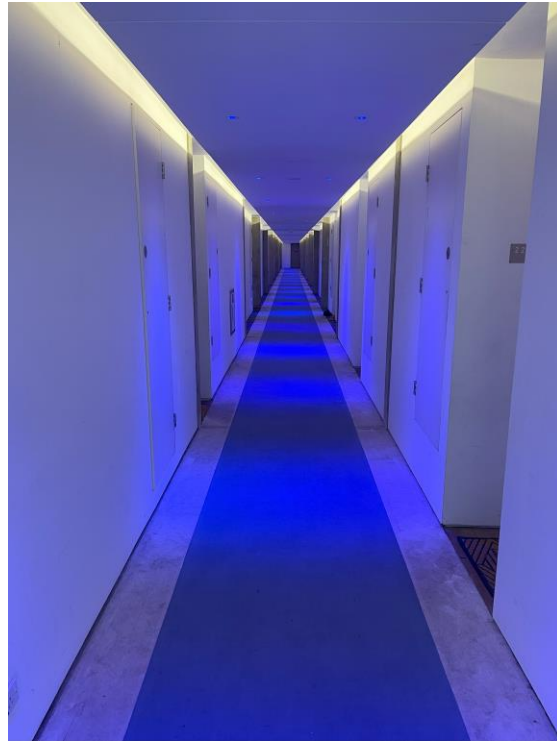
4) Rear elevation and garden



5) Example of internal, common part finishes



6) Example of internal, common part finishes



7) Example of internal, common part finishes



8) Example of basement car park